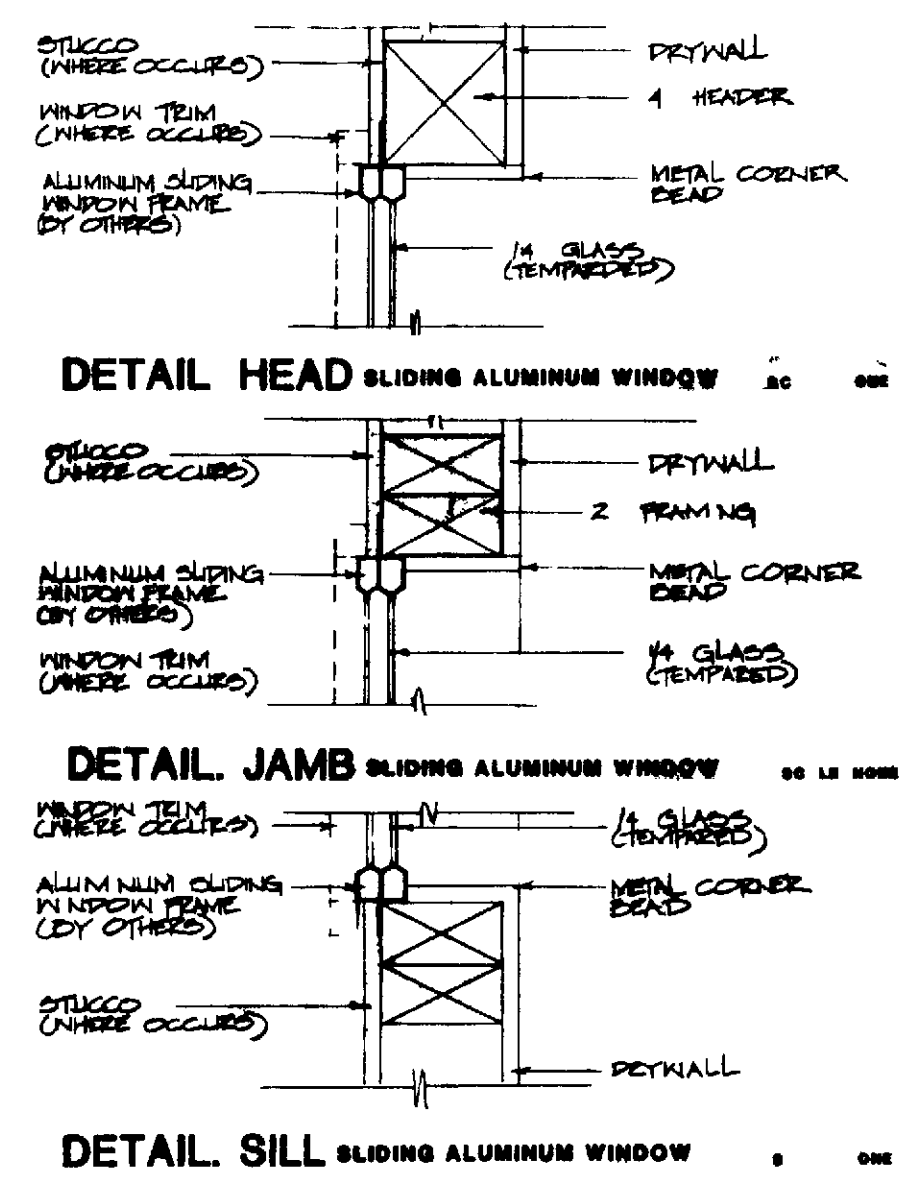
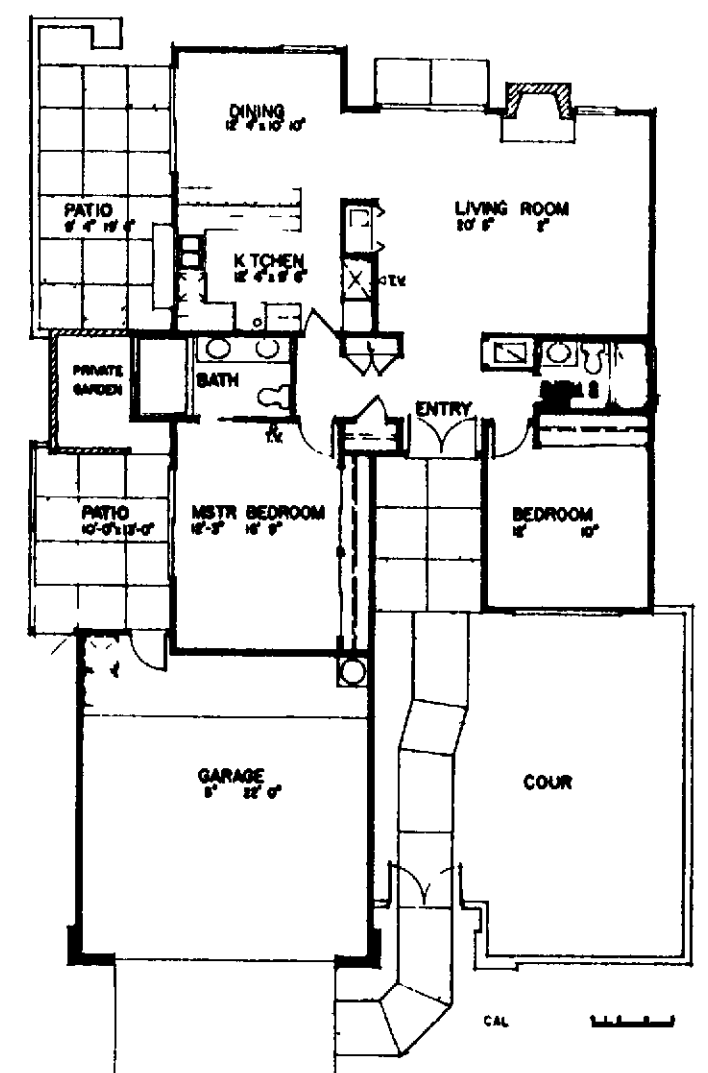
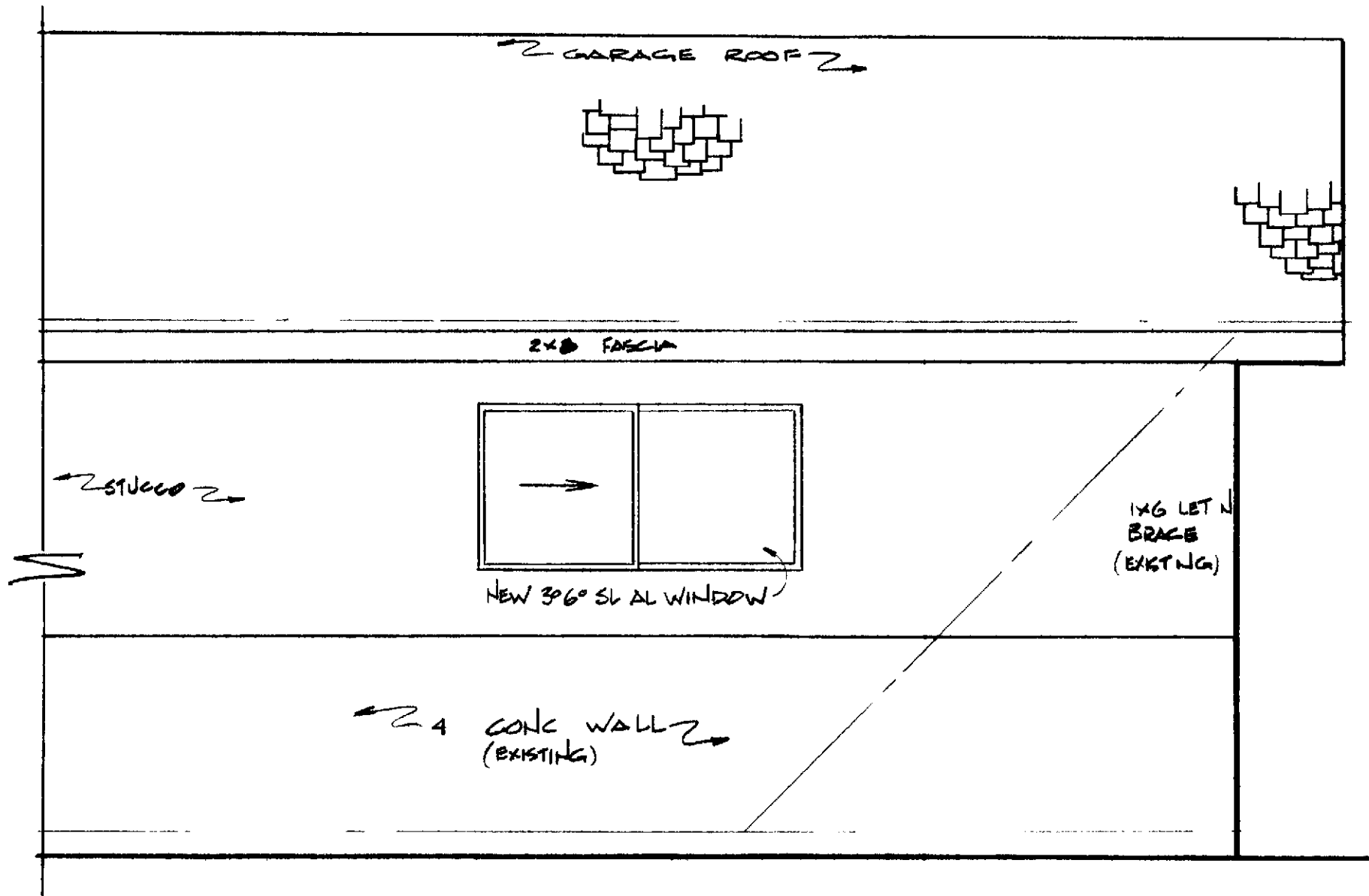


**PARTIAL FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**PARTIAL ELEVATION**  
SCALE 3/8" = 1'-0"



- GENERAL NOTES**
- This drawing and specific title and copy thereof are legal instruments of service for use of the owner.
- Professional Community Management  
P.O. Box  
Laguna Hills, CA 92653  
(Hereafter known as P.C.M.)
- Agent for Leisure World Laguna Hills, California and authorized representatives of the designated property owner and remain the sole property of the designer. Unauthorized use is prohibited.
- County Street Address:**  
Tract No. \_\_\_\_\_ Lot No. \_\_\_\_\_
  - Insurance:** Certain insurance(s) required outlined by the P.C.M. Permit and Inspection Department. Should they request such insurance, the policy must be taken out in owner's name.
  - Guarantee, Warranties, etc.:** The work of each trade shall be guaranteed by contractor.
  - Cutting, patching, etc.:** Each trade shall at all times do their own cutting, patching, fitting, etc. to make several parts come together properly fit and to receive or to be received by the work of other trades.
  - Clean UP:** All trades shall at all times keep the premises free from accumulation of waste material or rubbish caused by their work. Contractor is responsible for removal of debris and excess material and must leave work area broom clean both daily and upon completion of work. Use of community dumpster is not permitted.
  - Codes:** All work shall comply with the current edition of the Uniform Building Code and local codes.
  - General Notes:** Each trade shall be held responsible for knowledge of general not listed here in elsewhere with the drawing.
  - Permits:** All permits and plan check fees shall be taken out and paid for by the resident and/or his contractor.
  - Interpretation:** It is imperative that the contractor verify all dimensions and conditions shown on the drawing at the job site prior to commencing construction and inform the P.C.M. Permit and Inspection Department of any discrepancy or conflict prior to beginning/proceeding with the work.
  - Dimensions:** Dimensions have precedence over notes.
  - Manufacturer's Directions:** Where manufacturer's directions/specifications are called for, they shall be considered part of these drawings.
  - Construction Regulations:** The drawings and work performed shall at all times be governed by the applicable provisions of federal, state and local laws.
  - Facilities:** Temporary toilet shall be provided per local authority.
  - Barriers:** Construction barriers, if required, shall conform to the requirements of local authorities. For safety of the public shall be protected and shielded from the construction work at all times during the contract.
  - Structural:** The structure is designed as a stable unit after all component parts are in place. Therefore, contractor shall provide all shoring and bracing required to insure the stability and/or all parts during construction.
  - Standards:** All work shall be performed to the best standard practices of the trade(s). All contractor damaged work shall be replaced to the contractor's expense.
  - Construction Materials:** All material shall be of standard grade or better unless otherwise noted.
  - Discrepancies:** Any discrepancies between plan, building and local code requirements that may affect the installation, fabrication or overall work in any way shall be immediately brought to the attention of P.C.M. Permits and Inspections Department by the contractor.
  - Work Hours:** No work shall commence prior to 8:00 a.m. and no work will be permitted after 5:00 p.m. Monday through Friday. Saturday work should be held to a minimum and work whatsoever on Sunday.

WINDOW ADDITION GARAGE	155
C10 PLAN	
DRAWN TERRY WHITE	
APPROVAL TERRY WHITE	
DATE (1973) 6/29/93	