

GENERAL NOTES

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These drawings and specifications and copies hereof are legal instruments of service for use by the owner.

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and author's legal representative on the designated property only and remain the sole property of the designer. Transfer and use is prohibited.

street address _____

Bonds - Complete bonds and surety releases may be required and shall be implemented at the owner's discretion.

Insurance - Certain insurance(s) may be required as set out by the owner. Should they separate such insurance, the policies must be taken out in the owner's name.

Guarantee/Warranties - The work of each trade shall be guaranteed by the contractor.

Outing/patching - Each trade shall do their own cutting, patching, fitting, etc. to make several parts come together properly and receive or be received by the work of other trades.

Clean-up - All trades shall at all times keep the premises free from accumulation, waste, material, or rubbish caused by their work. Contractor is responsible for removal, debris, and excess material and upon completion save work areas broom clean daily.

Extra work - The owner may order extra work or make changes by listing, adding, or deducting from the work, the contract amount being adjusted accordingly.

Substitutions - No substitutions shall be made without prior written approval of the owner.

Code - All work shall comply with current editions of the Uniform Building Code, state and local codes.

General note - Each trade shall be held responsible for knowledge and conditions shown on the drawings and to the job site and inform the owner any discrepancies, conflicts, or omissions before proceeding with the work.

Interpretation - It is imperative that the contractors verify all dimensions and conditions shown on the drawings at the job site and inform the owner any discrepancies, conflicts, or omissions before proceeding with the work.

Permitting - Discrepancies have precedent over scale.

Derivations - Any deviations from drawings necessitated by field conditions must be accompanied by written change orders.

Manufacturer - All materials shall be of the highest quality and shall conform to the manufacturer's specifications. Where manufacturer's direction/specifications are not stated, the contractor shall be responsible for selecting materials of equivalent quality.

Construction on all trades - The drawings and work performed shall be in accordance with the applicable provisions of the International Building Code and local codes.

Permitting - Temporary construction shall be provided per local authority.

Barricade - Construction on barricade equipped shall conform to the requirements of the local authority. The contractor shall be responsible for erecting and/or shielding from the construction site/traffic during the construction.

Structure - The structure is designed as a standard 1 component part. The contractor shall provide all shoring and bracing required to ensure the stability of the part during construction.

Standards - All work shall be performed in accordance with the standards of the trade.

Construction materials - All materials shall be standard grade or better.

Additional drawings - The contractor shall furnish any additional drawings and specifications requested by the Orange County Building Department.

ROOFING NOTES

1. Wood-shingling shall be U.C. approved and fire resistant.

Typical nailing shall be 6" on edge and 12" in field.

Soft sheathing where used shall be 1/2" C-C lugged.

SKYLIGHT NOTES

No self-flashing skylight allowed. No exceptions.

All skylight shall be fastened down with cap screws only. Nail are not permitted.

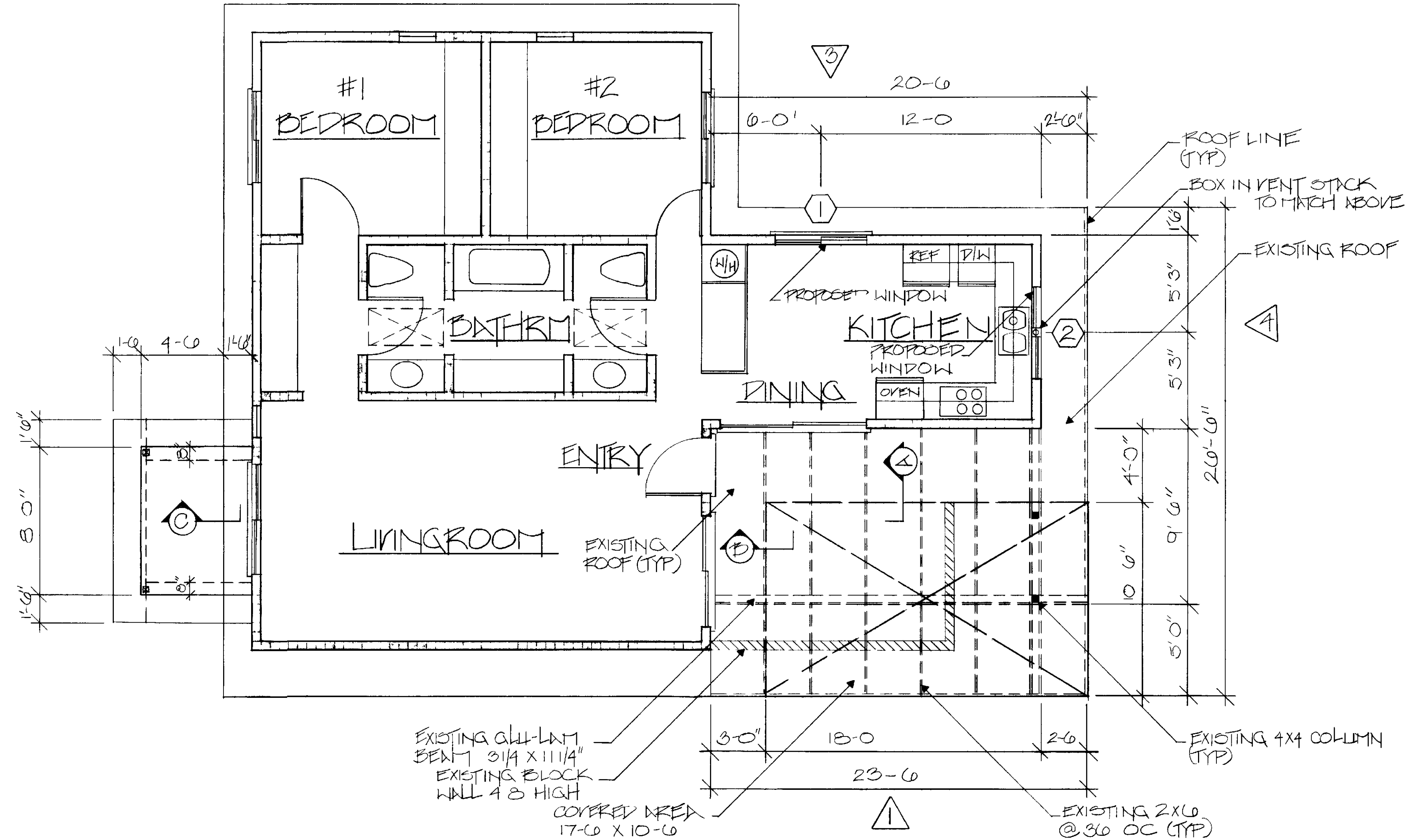
All skylight must have 1/2" clearance above roof.

Skylight shall be 1/2" away from any vent.

FLOOR PLAN

SCALE 1/4" = 1'-0"

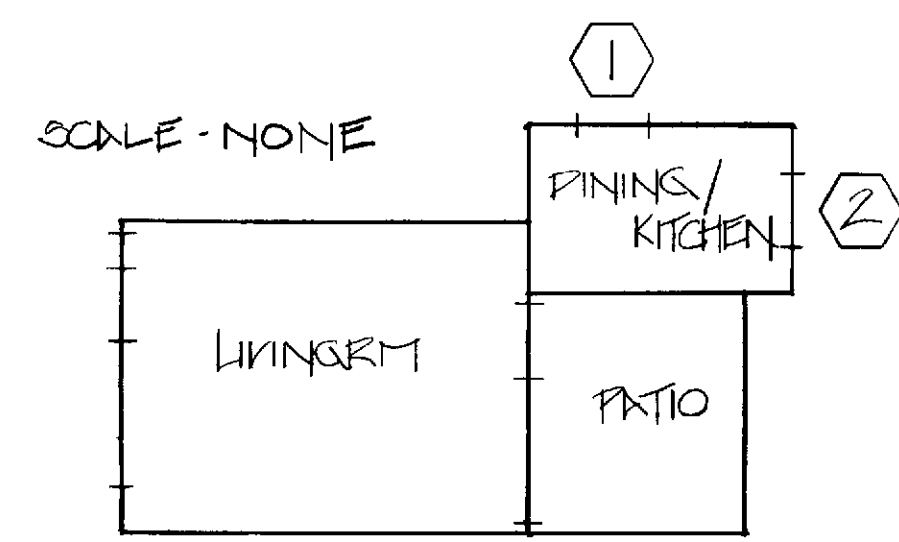
SYM	WIDTH	HEIGHT	MATERIALS	TYPE	SCREEN
1/	0'-0"	4'-0"	ALUMINUM	SLIDING	YES
2/	2'-0"	3'-0"	ALUMINUM	LOUVER	YES



LIGHT & VENTILATION

DETAIL ROOF

SCALE 1/2" = 1'-0"

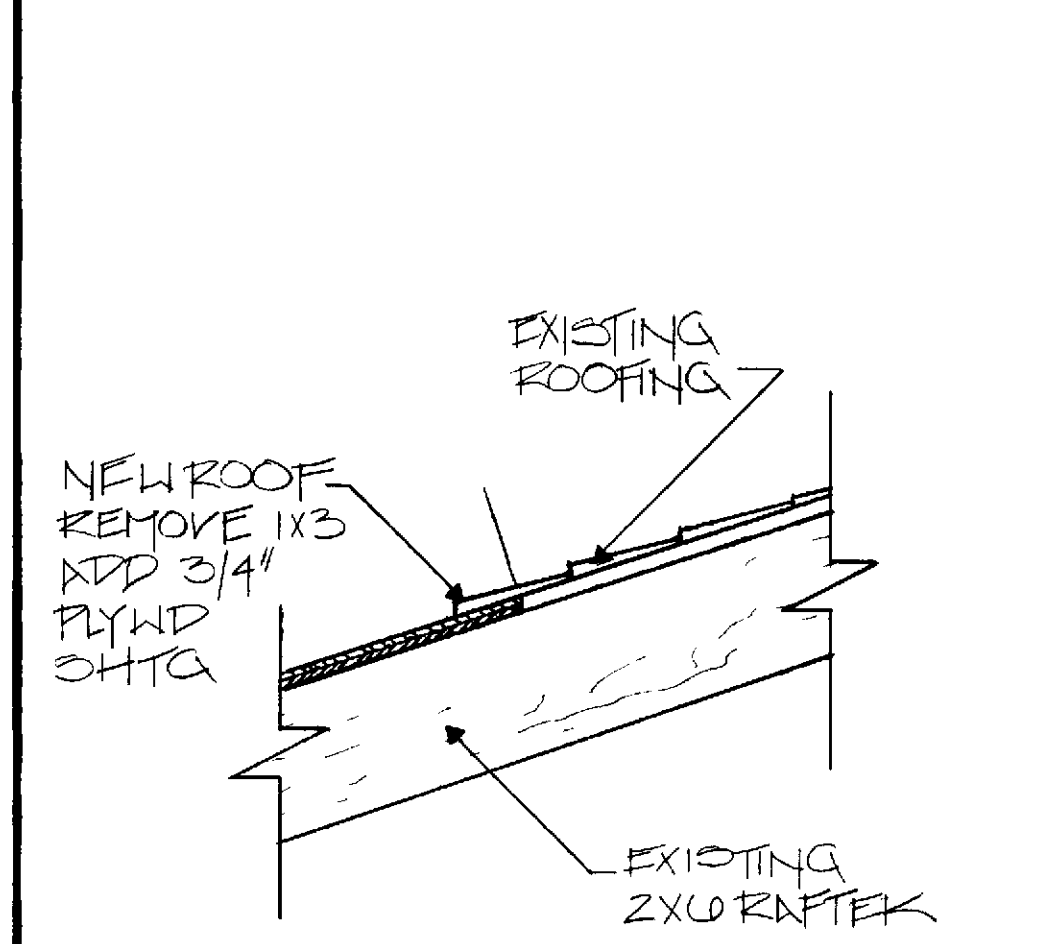


LIGHT & VENTILATION REQUIREMENTS

LIVINGROOM AREA = 312 # MET BY EXIST
 LIGHT AREA REQ'D = 40 # 2 SLIDER
 AIR AREA REQ'D = 20 # 3

KITCHEN AREA = 144 #
 LIGHT AREA REQ'D = 10 #
 AIR AREA REQ'D = 9 #

WINDOW AREA ① = 10 # } 217 NEW
 WINDOW AREA ② = 117 # } WINDOW AREA
 AIR ACTUAL = 10 #
 LIGHT ACTUAL = 217 #

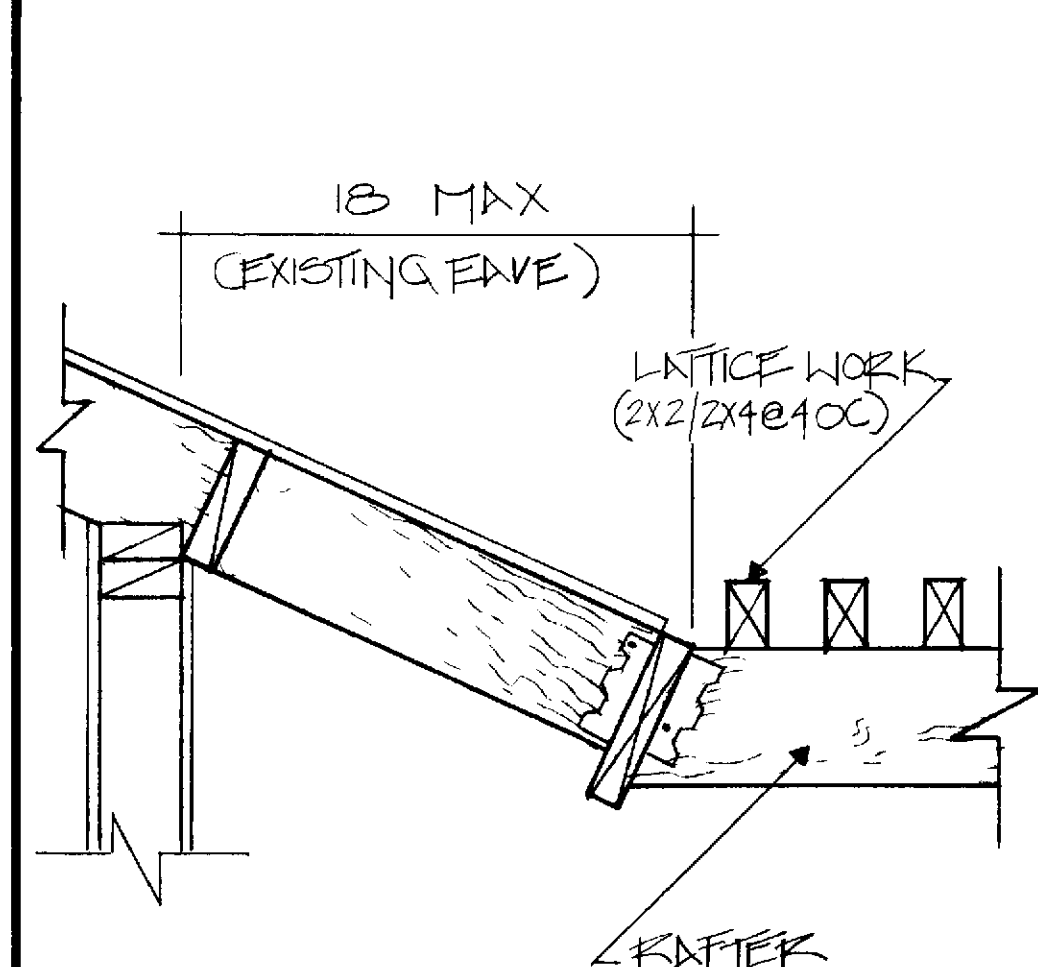
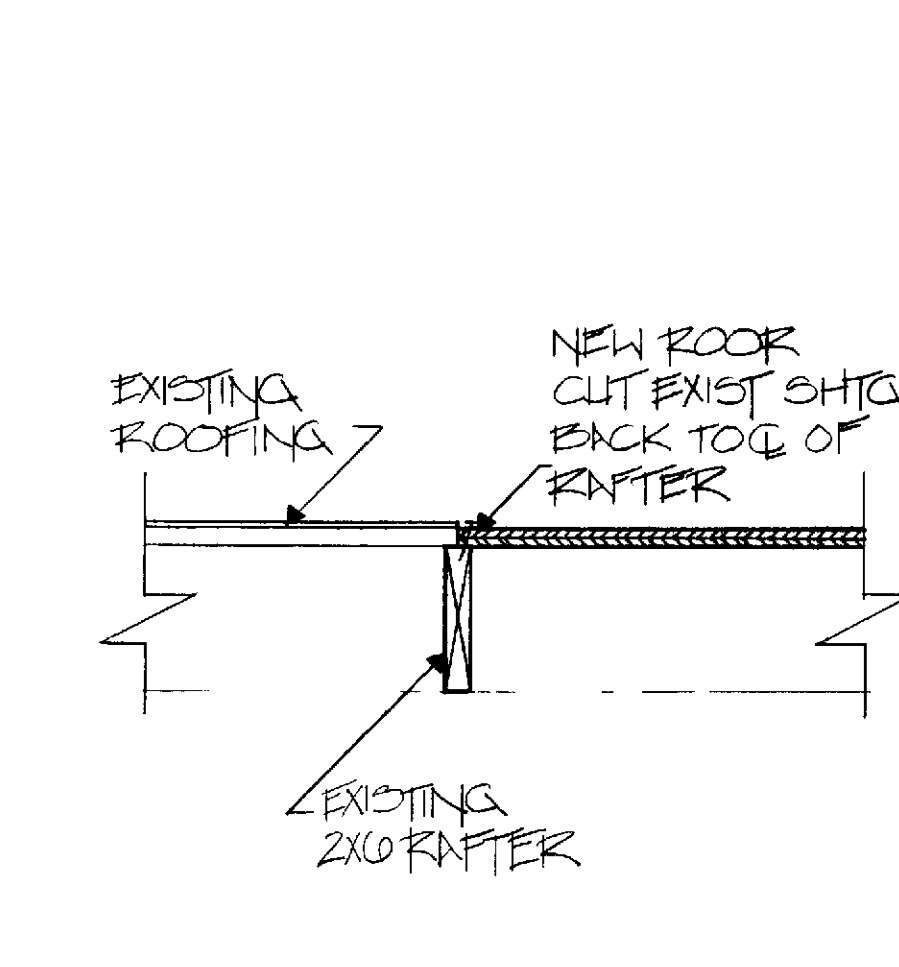


DETAIL ROOF

SCALE 1/2" = 1'-0"

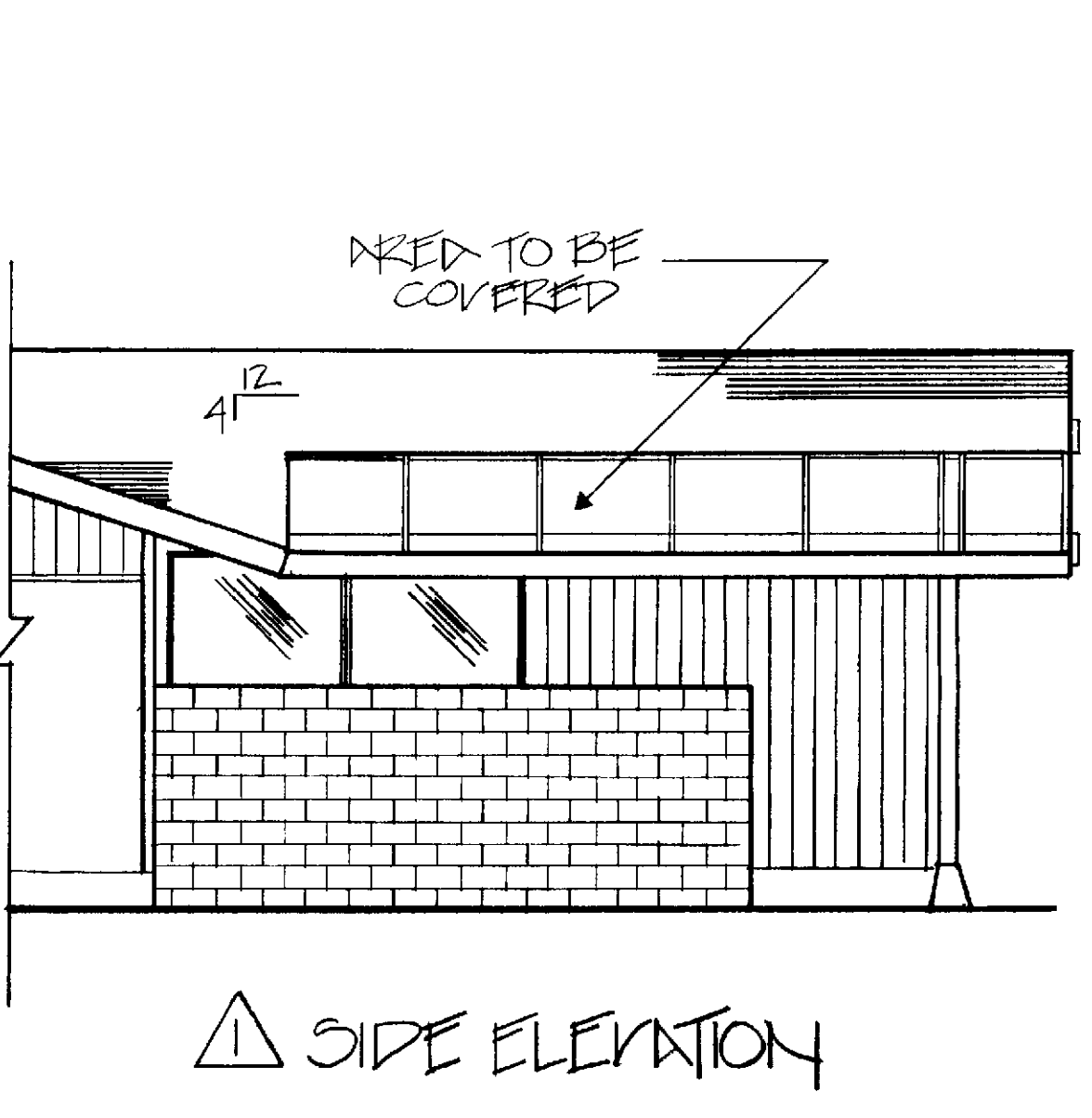
DETAIL ROOF

SCALE 1/2" = 1'-0"

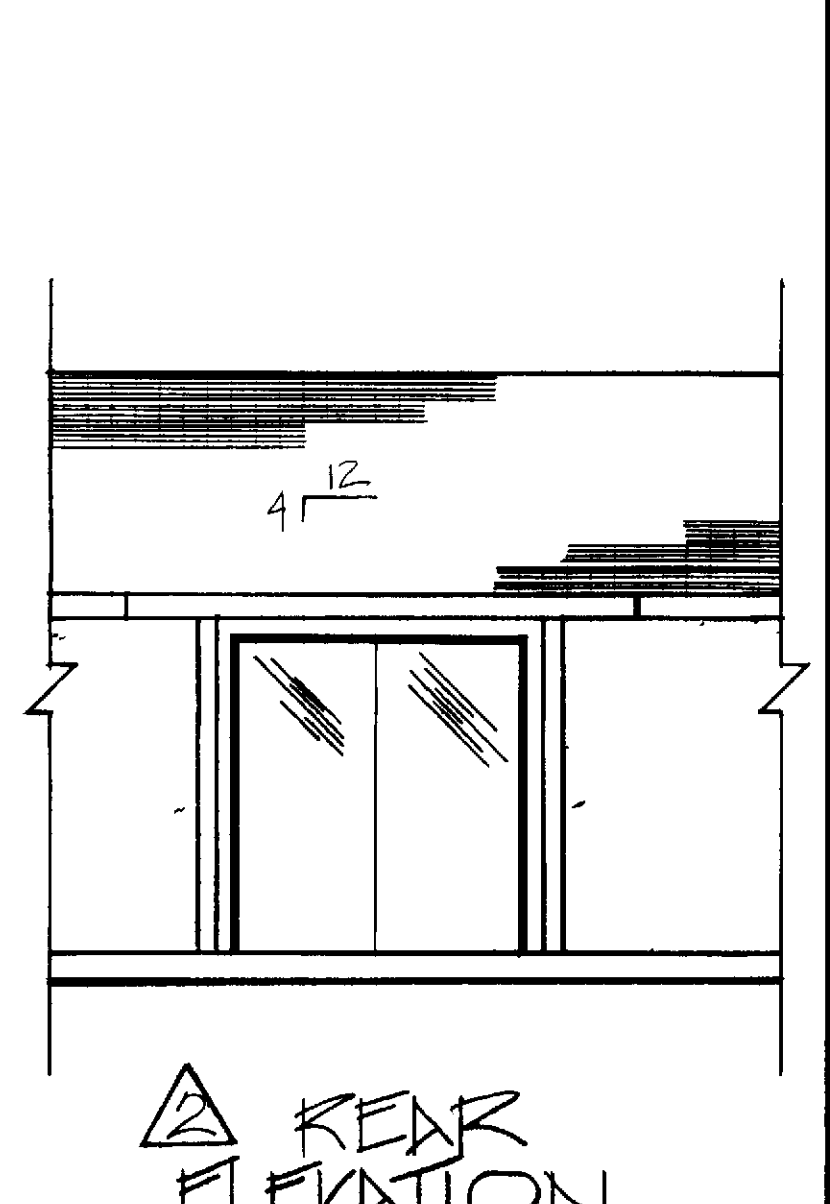


ELEVATION

SCALE 1/4" = 1'-0"



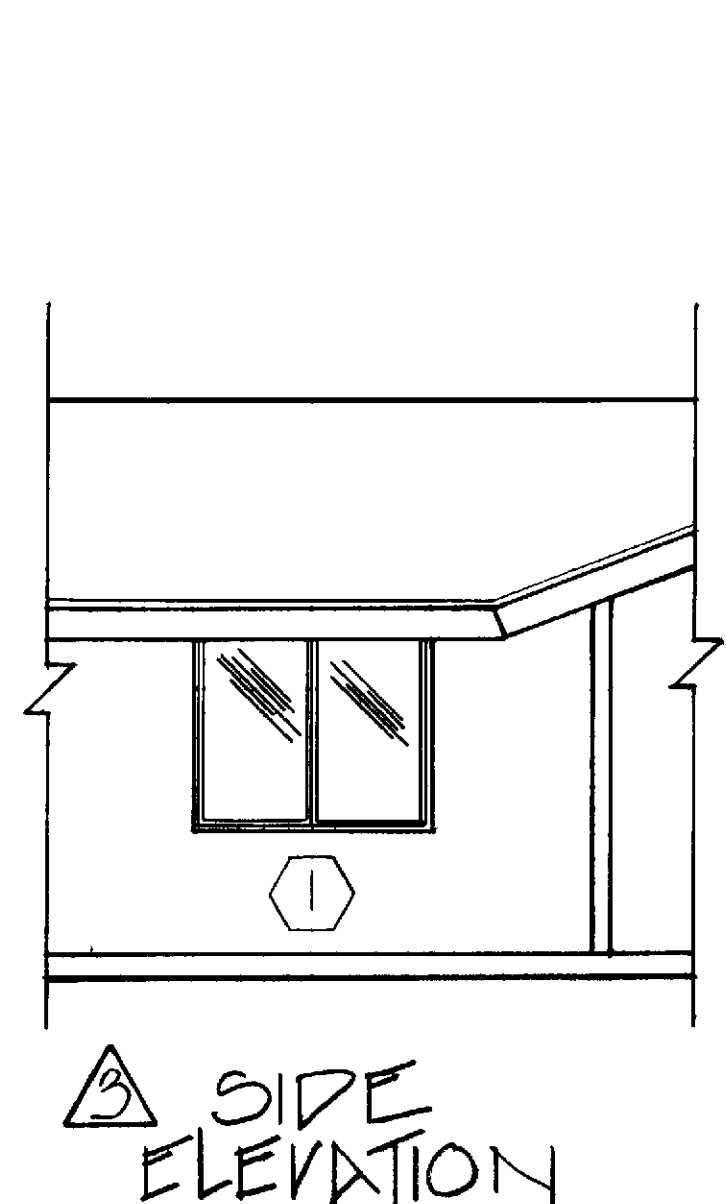
△ SIDE ELEVATION



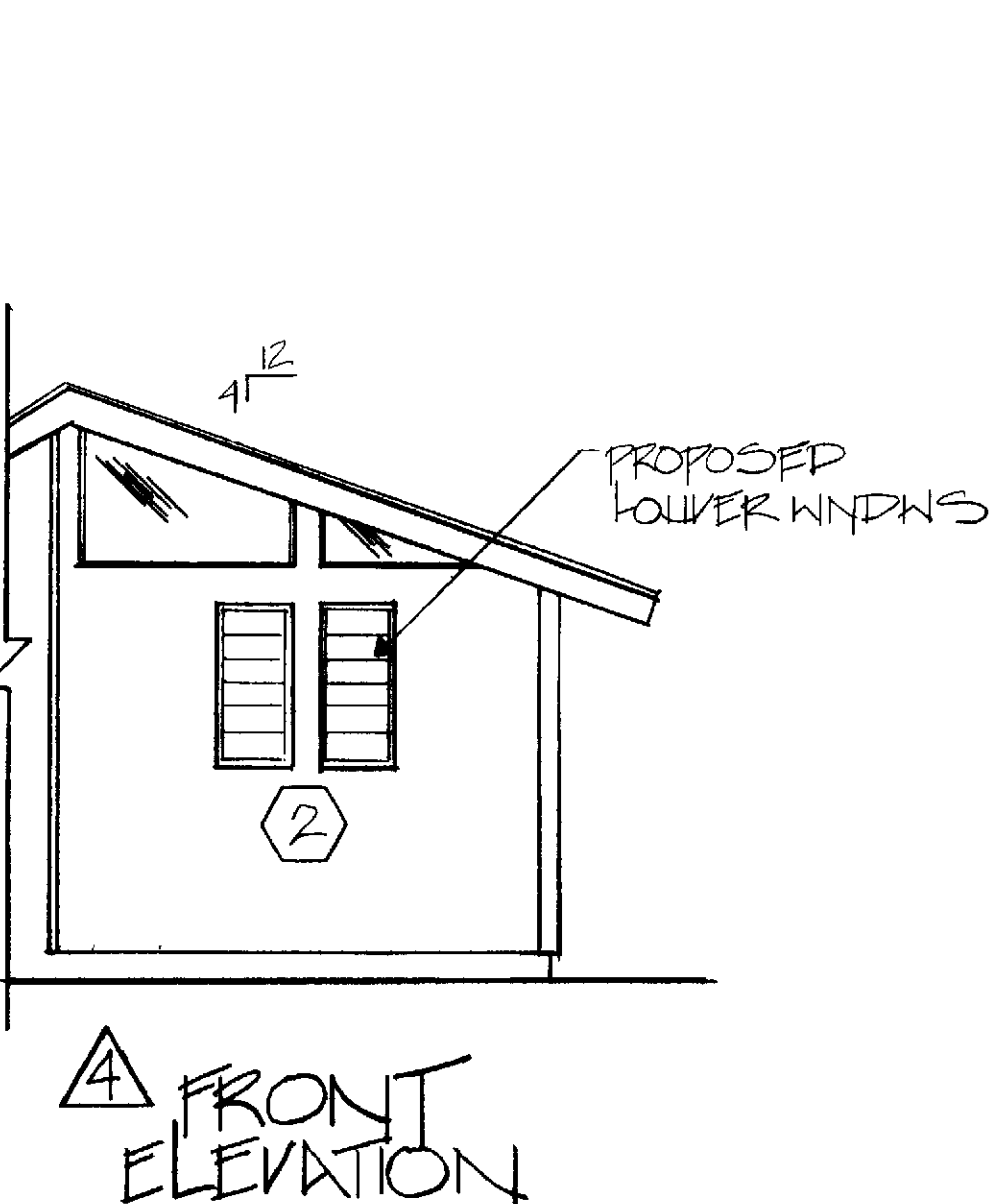
△ REAR ELEVATION

ELEVATION

SCALE 1/4" = 1'-0"



△ SIDE ELEVATION



△ FRONT ELEVATION

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CONSTRUCTION PLANS FOR
PATIO & ENTRY COVERS
 ALUMINUM, SOLID, LATTICE
 3-PLN

REVISIONS
 4/3/02

DRAWN BY: **G. OSWALD**
 DATE: **8/14/90**
 SCALE: **AS SHOWN**
 APPROVED BY: *[Signature]*

LEISURE WORLD
11
 STANDARD PLAN
 SHEET 1 OF 1 SHEET